

# FORESIGHT ENGINEERING & INSPECTIONS, LLC.

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## STRUCTURAL & MECHANICAL SYSTEMS' CONDITION SURVEY REPORT

FOR THE PROPERTY LOCATED AT

**1234 ABC ROAD**

**HOUSTON, TX 770XX**

**(XYZ APARTMENTS)**



**PREPARED FOR**

**MR. ROBERT T. XXXX**

Page 1 of 63

1234 ABC ROAD, HOUSTON, TX

ForeCom-X-0318

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March 28, 201X

TO: Mr. Robert T. XXX

Reg.: PROPERTY CONDITION SURVEY – 1234 ABC ROAD, HOUSTON, TX 770XX

Our File Number: ForeCom-X-0318

Dear Mr. XXXX,

At the request of Mr. Robert XXX, we conducted a limited specific condition survey of **Structural & Mechanical Systems** at property located at 1234 ABC Road, Houston, Texas 770XX on March 22, March 24 & March 25, XX.

The purpose of our survey was to observe certain specific structural & mechanical system components of the property as defined under "Type & Scope of Survey" on page 5, and to list our observations of the general condition & repairs of said components in the property.

Transmitted herewith is the property condition survey report exhibiting our subjective professional opinion. This report is based on the field survey of accessible mechanical items, and based upon the education, experience, and training of the author of this report. This survey is conducted under my Professional Inspector's License # 3864. **It is emphasized that our structural & mechanical survey and the accompanying surveying report, as stated in the "General, Limitations & Exclusions" of this survey on page 8, are intended as confidential to you and cannot be relied upon by third parties.**

Thank you for requesting FORESIGHT ENGINEERING & INSPECTIONS, LLC. to perform this important survey for you. We look forward to working with you again in the future. If you have any questions regarding this report, after carefully reviewing it, please contact our office.

Very truly yours,  
FORESIGHT ENGINEERING & INSPECTION, LLC.

MSC & UE, PE, CPI, CMI, CEP, EAC, CEI, ESC, ELRA, PI

**President**

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REPORT NO.: ForeCom-X-0318

March 27, 201X

## STRUCTURAL & MECHANICAL SYSTEMS SURVEY REPORT

Inspected for: Mr. Robert T. XXX  
(The Purchaser-Client)

Attention: Mr. Robert XXX

Foresight Engineering and Inspections, LLC. were called upon on March 17, 201X to survey the subject property.

### PROPERTY LOCATION

1234 ABC Road, (commonly addressed as XYZ APARTMENTS), Houston, TX 770XX and was located in Harris County, TX.

The property is located at the north side of Aldine Bender Road at the northeast corner of XXX Drive, and faces XX Road. The area surrounding this site is mostly commercial with some residential on south side of XX Road.

### PURPOSE OF SURVEY

The Client was contemplating the purchase of the said property for the purpose of running the business and investment.

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## TYPE & SCOPE OF SURVEY

A limited and visual structural and mechanical systems survey of specific components of this property was conducted. We have listed our observations of items and also those which indicate the need for repairs. No disassembly or destructive testing was performed at this property. No furniture or personal belongings were relocated during survey. No warranty of any kind is implied.

Items or conditions not outlined in this report are not covered, and shall not be considered to be in any condition, good or bad, by such lack of notation. Major components of the exterior structural and mechanical systems have been included and discussed in this report are foundation, exterior walls, doors & windows, roof, electrical equipment, and plumbing. Interior of 11 apartment units, boiler room, laundry rooms, storage rooms, pool equipment room and the office building were observed for condition of accessible structural and mechanical systems.

## DATES OF SURVEY

March 22, 201X, March 24, 201X and March 25, 201X

## WEATHER

Cloudy at the time of start of survey.

Temp. 75°F (March 22, 201X).

## DIRECTION DESIGNATIONS

As facing the inspected buildings from the building fronts

**Front**

**Right Rear**

**Left**

For the purpose of this report, the property faces

**South (Front).**

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## PERSONS PRESENT

Following persons were present during the time of survey:

Mr. Adam XYZ (Purchaser's Real Estate Agent)

Management of the property

Maintenance staff of the property

## INSPECTOR

Following inspector conducted the structural and mechanical systems survey at the subject property under his professional inspector's license:

Jitendra M. Varma

PI# 3864

## PROPERTY DESCRIPTION

The subject property was roughly 40+ years old and has 256 rentable units.

There were one story office building and 15 double story rentable buildings having stucco, masonite, wood and cement based siding on all exterior walls with brick accenting on building #1 and 2. We will refer these buildings by building numbers as posted on the buildings. The parking is all around these buildings. There are two laundry rooms attached to building #ed 6 and 9. Two water boilers were housed in a room attached to building # 9.

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## EXECUTIVE SUMMERY

The general condition of the property appeared somewhat average when compared with similar properties in the neighborhood.

Our report is based on observing the accessible areas of the exterior & interior of common area facilities and 11 rentable units on the interior.

We did observe deferred maintenance in all the categories included in the survey. All problem areas are discussed within their respective category sections in the body of this report.

In the body of this report, starting with Page 10 is a discussion of our findings by specific categories of mechanical systems as outlined in the Table of Contents at the beginning of this report. Within each category is a brief description of the component, some discussion of our observations made during the survey, followed by conclusions with recommended action.

The inspected buildings are referred by their designated numbers as called out in the Enclosure "E-2" in this report and labeled at the project site. Likewise the inspected apartments are named as shown in the Enclosure "E-2" in this report and numbered at the property site.

Some photographs are included in the Exhibits section as Exhibit E-1 and are referenced in this report. These are incorporated to provide a sampling of the phenomena or the condition(s) of the items or the systems, however, not every phenomenon in every location is photographed or every photograph is included in this report to keep the report concise, to the point and presentable.

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## GENERAL, LIMITATIONS & EXCLUSIONS

In the conduct of this work, Foresight Engineering & Inspections, LLC. has acted as a consultant to provide visual observations and opinions with regard to the visible conditions of the mechanical systems of the buildings. Recognizing that latent defects could exist which inherently may not be detected during a survey of this type, Foresight Engineering & Inspections, LLC. does not represent that the observations described herein and their analysis thereof represent every condition that may exist. Any condition not apparent visually at the time of survey or any component not readily accessible for survey is not reported. Mechanical items not specifically noted as inspected in this report are not covered by this report and are not to be assumed good or bad by lack of notation. Any verbal statements made at the time of the survey are not to be considered a part of this survey or this report. The information contained in this report takes precedence over any communications that might have occurred prior to issuing this report.

It is emphasized that the purpose of this report is to better inform you, as a client on the subject property, of conditions existing at the time of the survey, with no representation or warranty as to the efficiency or future life of the structural and mechanical systems or any component thereof. You, as the client, should not rely on this report as the sole basis for any decision you may make concerning the transaction of this property nor should you conclude that all of the repairs that may be needed are described herein. Opinions relating to compliance with specifications, legal, and/or Code requirements and/or restrictions of any kind are specifically excluded by this survey.

Foresight Engineering & Inspections, LLC. does not assume any responsibility whatsoever for any action(s) that may or may not be done as a result of information provided during the survey. Finally, this report is written to satisfy the objectives of you, as our client. Neither the author(s) of this report nor Foresight Engineering & Inspections, LLC. jointly or severally assumes any responsibility whatsoever for the use of this report, or the information contained herein, by any third party person.

Our structural systems survey consisted paving & grading, foundation, walls, doors & windows, stairs & steps, roofing & gutters, and fireplace. Mechanical systems survey comprised of water heaters, swimming pool & equipment, HVAC, electrical, and plumbing on the exterior.

Interior of 11 apartment units were observed for condition of accessible structural and mechanical systems. The survey covered condition of electrical panel box, light fixtures, receptacles and switches; heating, ventilation & air-conditioning equipment and performance; plumbing fixtures & operation, walls, floors & ceilings, doors & windows, and appliances condition & operation.

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Yard & building sprinkler systems (if present), furniture, refrigerators & microwaves, laundry equipment, and fire protection equipment, and other items/equipment if not included in the body of the report are to be considered as NOT surveyed.

My observations were limited to those components that were readily visible without moving &/or removing any item causing visual obstruction, such as vegetation, furnishings, office equipment, floor coverings, stored items, etc.

This report excludes survey and reporting on power transformers. Our survey and report specifically excludes finish work, interior surface material & aesthetic conditions in general, interior furnishings, wall & ceiling finish, carpeting, termite infestation & damage, asbestos materials, current and previous geographical faults, area flood conditions, noise & air pollution and other general or area conditions, hazardous waste & radon gas, exterior markers or signs, security alarm systems, phone & communication equipment, function of exterior security lighting, legal description of property such as boundaries, egress & ingress, etc., conformance of governing codes, manufacturers specifications, or other legal requirements, of all kind, and all items, conditions & components which are not readily visible.

My efforts and this survey have been confined to problem identification. We have not analyzed the design of this building, nor have we determined as-built construction to be in conformance with plans and specifications.

My survey and this survey report are intended as confidential to you, for your exclusive use. **These can not be relied upon by any third party (parties).**

I surveyed exterior of all buildings, interior of common area facilities, 11 units on the interior as a representative sampling, office building, laundry rooms, boiler room, maintenance & storage rooms and swimming pool equipment. The 11 surveyed units were #ed 118, 202, 300, 504 & 1000 on first floor and 119, 203, 301, 505, 911 & 803 on second floor. Units #ed 118, 119, 202, 203 were 1 bed/1 bath units; units #ed 300, 301, 504, 505 & 911 were 2 bed/1 bath units; and # 803 & 1000 were 2 bed/2 bath units.

**AS SUCH, STRUCTURAL AND MECHANICAL CONDITIONS OF THE OTHER 245 UNITS MAY BE PROJECTED FROM THE OBSERVATIONS OF 11 SURVEYED UNITS IF SO DESIRED.**

**On the pages following I will describe condition of the item(s) and make recommendations where deemed necessary in blue ink and bold face lettering as a courtesy to the client.**

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## STRUCTURAL SYSTEMS

### PAVING & GRADING

I walked around the whole property to observe the condition of the paving and parking facilities.

Concrete paving was cracked in many locations with some repairs appeared to have been performed in the past. See photos #ed 01 and 02. The paving appeared to be in fair condition. Underground drainage was noticed in the paved areas of the parking.

Soil grade and drainage patterns around the buildings did not appear to properly direct water away from foundation to aid in controlling runoff water and could cause differential movement of the foundation &/or water intrusion during heavy rains.

I additionally recommend that the grading should be improved to promote the flow of storm water away from the buildings. The removal of topsoil and/or the installation of sub surface drains (such as French drains) may be needed to achieve positive drainage away from the foundation. The grade away from foundation walls should fall a minimum of 6" within the first 10'. Where lot lines, walls, slopes or other physical barriers prohibit 6" of fall within 10', final grade should slope away from foundation at a minimum slope of 5% towards drains or swales, when located within 10' of the building and with a minimum slope of 2% on drains/swales, to ensure drainage away from the structure. Ideally, at least 6" of clearance should be maintained between soil level and the top of the foundation walls.

Underground drainage system should be periodically cleaned out so it is ready for heavy and fast downpours.

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## FOUNDATIONS

I walked around all the 16 buildings and surveyed the accessible areas of the foundation. The foundation appeared to be post-tension slab system. Dead ends were exposed as can be seen photo #03.

The exposed areas of the foundation of all the buildings were found them to be free of any significant cracks. I observed that the soil around the foundation was too high around some buildings. In some areas soil was covering the foundation. See photo #4 (Exhibit E-1). Such a condition has the potential & cause of water intrusion into the interior and subterranean termite infestation.

Trees were too close with roots under the foundation. Loss of moisture from under the foundation could be a potential of foundation problems in future. Also, downspouts were discharging at the foundation. Large volumes of rainwater at &/or near foundation has the potential of causing soil erosion, and uneven &/or too much moisture around foundation can be conducive to foundation problems or may cause differential foundation movement.

I recommend that all exposed post-tensioned cable ends be covered with a good quality cement mortar and that foundation should have a minimum exposure of 4" above grade for brick veneer and 6" above stucco or wood siding.

The downspout(s) should discharge water at least five (5) feet from the foundation. Storm water should be encouraged to flow away from the building at the point of discharge.

I further recommend either removal of trees that fall within 15 feet of the foundation or install a root barrier between the property and trees to minimize loss of moisture from under the foundation.

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## WALLS

I walked around the exterior of all the buildings, and interior of common areas & 11 rentable units.

Deteriorated/warped masonite siding was observed in most areas. Masonite siding deteriorates much like an old sponge. As the material deteriorates, the layers of the laminated materials start separating and falling. Masonite siding has been the subject of any number of lawsuits and funds from these lawsuits had been set aside for the replacement of the siding. It is not known if any of these funds are still available. You should determine if there are funds from these lawsuits available for the replacement of the siding. It was in poor condition in many areas especially near the bottom. See photo #ed 05 and 06.

Stucco was the second most common siding material on the exterior. It was improperly installed. Stucco veneer was not a minimum of 2" above the hard surface per industry standards. See photo #07. Weep screed was missing at the bottom of stucco for venting stucco. Stucco was damaged in some areas especially on building #11.

Insufficient &/or missing weep holes in first course of brick/stone veneer wall at foundation level. Weep holes should be placed at no more than 33 inches on centers to provide sufficient wall breathing and minimize chances of fungal growth and disintegration of framing members from any moisture build up. See photo #ed 03 and 04.

Penetrations of light fixtures/piping/fasteners for guardrails, junction boxes, other similar/any kind of penetrations, etc. through the exterior cladding were not caulked/sealed. See photos #08 and 09. Water

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penetration into the wall cavity may have already occurred, may be occurring or will likely occur in the future. The extent of the potential damage and/or latent damage to framing structural members that are behind the exterior cladding and inside the wall cavity is not visible and, therefore, is beyond the scope of this limited visual inspection. Full disclosure of this type of damage would require the removal of interior and/or exterior wall coverings.

Interior accessible walls in visible areas of 11 surveyed units appeared to be good condition except the walls in the boiler room and pool equipment room where drywall was missing. See photo # 10.

Flashing was missing over many exterior openings (see photo #11) or improperly installed on many other openings (photo no. #12)-this is an unsafe condition. Prompt attention is recommended.

Rotted soffits were discovered in some areas, in particular building #9.

**I recommend that all rotted/warped masonite siding be replaced with cement based siding. All holes should be sealed with a good quality sealant.**

**I also recommend that additional weep holes should be placed in the first course of bricks so that the spacing is no more than 33 inches on centers. Also one to two weep holes should be placed in each post. The concrete paving and landings where it is partially or fully covering the weep holes should be re-poured to allow at least 2" of foundation exposure. This will prevent water to pond and stagnate in the wall cavity and minimize chances of fungal growth and disintegration of structural members.**

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## FLOORS & CEILINGS

Floors and ceilings were observed in 11 rentable units, office building (#4), pool equipment room, boiler room, laundry rooms and storage/work rooms.

Condition was average based on my observations.

Vinyl was damaged in breakfast area in unit # 119 and in the kitchen & breakfast area in unit #300. See photo #13.

Ceiling was missing pool equipment room which was a part of building #4 and houses furnace for the office areas. See photo #14. Metal collar was missing around boiler's exhaust vents in building #9. See photo #15. Such conditions present unsafe conditions as the fire to traverse quickly into the office areas and adjoining rentable units in building #9 as the fire barrier was broken.

**I recommend that all drywall repairs promptly to reduce risk of loss and liability.**

## DOORS & WINDOWS

Doors and windows appeared to be in average condition. A damaged door was observed in unit # 301. Outside and front bedroom were damaged in unit #301.

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## STAIRS & STEPS

Stairs were surveyed by walking and from ground. The condition appeared to be fair.

I observed that the intermediate baluster spacing on stair rails exceeded 4 3/8" clearance. Such opening(s) are unsafe for small children as they have a potential of getting their head stuck &/or falling in such open areas and hurting themselves. Maximum allowed spacing between intermediate balusters should not allow passage of a sphere 4 3/8" in diameter. This is potentially an unsafe condition and violates safety code. See photo #s 16 and 17.

Intermediate baluster spacing on guards exceeded 4" clearance. Such opening(s) are unsafe for small children as they have a potential of getting their head stuck &/or falling in such open areas and hurting themselves. Maximum allowed spacing between intermediate balusters should not allow passage of a sphere 4" in diameter. This is potentially an unsafe condition and violates safety code IRC R312.1.3 exception 2.

Balusters were missing on many stairs. See photo # 17. Hand rails were loose on many stairs.

Wooden non-grippable handrails on most stairs. This is potentially an unsafe condition. Handrails should be round and the diameter should be between 1 1/4" to 2 5/8". See photo #s 16 and 17.

Open tread spacing on stairs exceeded 6". Such opening(s) are unsafe for small children as they have a potential of getting their head stuck in such open areas &/or hurting themselves. See photo #s 16 and 17.

Steps were damaged &/or were rotted on some stairs. See photo #18.

Risers on steps to the office building were uneven. See photo #19. Maximum difference between tallest and shortest riser should not exceed the maximum limit of 3/8" & do not comply with current industry standards, and was unsafe. This condition should be altered for improved safety.

**It is strongly recommended that adverse phenomenon of steps, treads, stair and guard rails should be promptly addressed to minimize any mishaps and reduce liabilities.**

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## ROOFING, ATTICS & GUTTERS

Roofs were surveyed by walking all the flat roofs, while the pitched roofs were observed either from ground or from flat or low pitched roofs.

No attic access was available. So condition of attics, insulation, ventilation and framing is unknown.

Following is breakdown by type of roofing and condition in parenthesis and bold type:

Rolled Roofing	Building #s 1 ( <b>Fair</b> ), 2 ( <b>Fair</b> ), 3 ( <b>Fair</b> ), 6-2 story ( <b>Poor</b> ), 8 ( <b>Fair</b> ), 9-2 story ( <b>Fair</b> ), 11 ( <b>Fair</b> ), 14 ( <b>Fair</b> ), 15 ( <b>Poor</b> ),
Low Pitched Rolled Roofing	Building # 12 ( <b>Good</b> )
Hot Tar & Gravel Roofing	Building #s 5 ( <b>Fair</b> ), 6-1 story ( <b>Good</b> ), 7 ( <b>Poor</b> ), 8 ( <b>Poor</b> ), 10 ( <b>Poor</b> ), 13 ( <b>Poor</b> ), 16 ( <b>was being repaired during survey</b> )
High Pitched Roof	Building #4 ( <b>Good</b> ), 9-1 story ( <b>Good</b> )

The flat and low pitched roofs had small sections of pitched roofs added for architectural appearance purpose.

In my professional opinion, the 2-story flat roofs were in fair to poor condition. Most of them had been patched over and over in several areas, had water standing, and had weak/missing sheathing under the roofing material. **This will be an expensive item to replace.**

Many of the gutters were filled with tree leaves. The gutters should be cleaned to prevent overflow and water intrusion into the interior which can result in fungal growth.

Tree limbs were touching &/or overhanging roof line on many buildings. Tree limbs should be trimmed back at least 4 feet from roof. See photo # 20.

Leaf pile up was observed on many buildings. Leaf pile up &/or debris is very detrimental to the life of the roof from the moisture of leaf pile up &/or debris. See photo #21.

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Signs of ponding were observed on all buildings excepting building #s 4 & 12. See photo # 22.

Standing water was noticed in several areas of most flat roofs. See photo #s 23 and 24. It should be noted that water had been standing for a long time as indicated by discoloration under the water and ring around it.

Roof sheathing felt soft in several locations especially where water ponding and signs of ponding were observed.

Damaged, rusted and rusting flashing was discovered on all ridges of all pitched roof sections above 2-story flat roofs with exposed nail heads. See photo #s 25 and 26. This condition could allow rain water to infiltrate into the interior and cause fungal growth and structural disintegration.

Ponding usually leads to a shortened life expectancy, excessive load on roof, roof failure and increases the potential for damage if leakage occurs.

It is strongly recommended that the areas where water has been standing during the time of inspection & ponding in the past and/or suspect areas as shown in infrared reports should be further investigated by investigative inspection and repaired as needed. At that time, the roof should be appropriately sloped making sure no ponding exist, or drains should be provided as necessary.

**This is a very expensive item to address and so caution shall be exercised in budgeting or negotiating.**

## FIREPLACE

Fireplace in the office appeared to be OK.

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## MECHANICAL SYSTEMS

### WATER HEATERS

Hot water for the property was heated by two commercial grade large capacity gas burners (see photo #ed 27 and 28) and was stored into two large vertical holding tanks (#ed 29 and 30) for circulation to all the plumbing fixtures of the property. The equipment was in fair condition.

I observed that pipes were not insulated and the cold pipes were sweating and dripping.

Conduit on water circulating pump motor was not secured to the unit. See photo #31.

Water heater vents did not have metal collar at ceiling and did not 1" clearance between unit and framing &/or other combustible materials as required by most water heater manufacturers-unsafe. See photo #32.

Water temperature is too hot, scalding hazard, temperature measured above 120.0° F (observed 142° F at tank gauge). See photo #33. Water temp above 120 degrees F is a safety hazard. P2713.3. **The following temperatures will produce 2nd & 3rd degree burns on adult skin:**

160° F in about 1/2 second, 150° F in about 1-1/2 seconds,

140° F in less than 5 seconds,

130° F in about 30 seconds

and 120° F takes more than 5 minutes.

**It is recommended that all items that needed to be repaired should be promptly addressed.**

**It is further that temperature & pressure relief (TPR) valve(s) should be replaced. These should be replaced every three years.**

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## POOL & POOL EQUIPMENT

The pool was located behind the office building (#4) and was encompassed by buildings #ed 5, 8, 9 and 3.

Pool appeared to be in good condition.

Following are my observation of deficiencies:

1. Gate was not opening to the out. This presents a potentially unsafe condition and violates common industry practice. See photo #34.
2. Openings, within 18" of gate latch, were observed to be more than 1/2". See photo # 35.
3. Gate latch was discovered to be less than 54" high, however, the gate and barrier had openings larger than 1/2" within 18" of the release mechanism. See photo #34. This is required by common industry practice.
4. There were no handrails on steps to the pool. See photo #36.
5. Motor was not externally grounded. See photo #37.
6. One of the 2 drains was damaged-unsafe. See photo #38 (photo out of focus).
7. Pool light was on a sensor and could not be inspected, however, no GFCI was found to control the light from safety aspects.

**It is recommended that all items that needed to be repaired should be promptly addressed.**

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## HEATING, VENTILATION & AIR-CONDITIONING

Heating and air-conditioning is supplied by separate central units for each rental unit and the office. Condensing units were sitting on the roofs while the heating & evaporators were installed in the closets of each rental unit.

Condensing unit for the office was on ground on the left side of the office while the other mating part was in the pool equipment room. Heating was supplied by electric heat strips.

Closet units were manufactured by Grenada

Most of the condensing units were manufactured by Lennox and were approximately 8 to 9 years old. Other manufacturers were Goodman, Trane, Payne, Weather King, and Ruud to name a few. The units were 1 1/2 tons to 2 tons.

Few condensing units had cooling coils pitted. Some units were dirty.

Four condensing units were missing. See photo #43.

About 25% safety covers were missing on the units causing the contactors, capacitors and other parts to rust and fail. See photo #s 39 and 40.

Missing, damaged &/or frayed insulation on suction line on many units.

Most condensers did not have a minimum height of 3" above roof. See photo #40.

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No service receptacle within 25' was discovered of the unit(s)-potentially unsafe.

Most units were unlevel on building #12.

Condensing fan motor was missing on building #13. See photo #41.

Wrong fan motor support on two units. See photo #42.

About 20% of closet evaporators were rusted. See photo #44. Closet unit in apartment #1000 was not surveyed as tenant's property was stacked against.

Unit #911 was vacant and had no power. It had a fan cover missing. See photo #45. The maintenance man informed that the unit needed replacement in the closet.

Insufficient cooling was observed on all the inspected units. None of the units registered a 15 deg. F differential. This condition should be investigated and corrected for energy savings and efficiency of unit(s).

**The units showed lack of maintenance.**

**IT IS STRONGLY RECOMMENDED THAT ALL UNITS BE THOROUGHLY CHECKED AND SERVICED BY A LICENSED, INSURED AND EXPERIENCED AIR CONDITIONING AND HEATING TECHNICIAN INCLUDING HAVING ABOVE REFERENCED PROBLEMS CORRECTED. THIS WILL NOT ONLY REDUCE THE OPERATING COSTS BUT ALSO INCREASE THE LIFE OF THE UNITS.**

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## ELECTRICAL

I surveyed the accessible electrical system of the property. The main power supply for all buildings comes from transformers located on the property. Main electrical disconnect panels for each apartment was located outside buildings and a sample survey was conducted on some panels. The main disconnect for the office building was located in the pool equipment room. There was another main panel in the boiler room.

Open junction boxes seen on the outside of the building. Missing porch/patio light glass on the exterior.

## APARTMENT'S MAIN & SUB PANELS AND FIXTURES

All main and sub panels are identical for each apartment. The power is supplied by Cutler Hammer's 100 amp breaker main panel house in closets outside the building. All service and feeder wiring to the sub panel is aluminum. See photo # 46 for main panel and photo #47 for the sub panel. The sub panels are either located in clothes closet or laundry closet.

Following are my observational comments:

1. The upper end of the grounding electrode was above the ground level indicating less than full 8' embedded depth into the ground which not only violates the current electrical code but also is a tripping hazard, and thus making the protruding end & the grounding wire connection susceptible to physical damage. The upper end of the grounding electrode should be flush with or below ground level.
2. There was only one grounding electrode visible on the property. Grounding requires the use of a grounding system. A second means of grounding should be installed per IRC and the NEC. The IRC

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requires that a grounding system be installed per Sections E3607.2 and E3608. A grounding system, as defined by the electrical codes, means two direct grounding electrodes or a made electrode and a concrete encased electrode with access to the connection of the concrete encased electrode. Access to a concrete encased electrode or to a grounding ring does not have to be provided and may not be visible. The presence of a proper grounding electrode system should be verified or a proper grounding electrode system should be installed for safety.

3. Bonding bushing was missing in the main electric panel at the entry of service conductors at the knockout. See photo #46.
4. There was no anti-oxidant compound on the exposed feeder aluminum wiring. Use of anti-oxidant prevents arcing and rusting of aluminum wires. See photo #ed 46 through 48.
5. Improperly identified neutral wire in left main/sub panel by taping. See photo # 46. It should be permanently identified.
6. Sub panels were not fully labeled or labeled at all.
7. No repairs discovered on aluminum wiring. It is strongly recommended that all aluminum wiring connections, switches, receptacles, fixtures and junction boxes should be investigated for proper and safe connectors and receptacles.
8. The neutral wires (with white insulation) used as second hot were not re-identified or were not properly & permanently on 220 volt circuit(s). When using such wires as hot wires, they should be re-identified permanently for safety. All hot (ungrounded) conductors are required to be identified by the use of any color other than white, gray or green or bare copper. See photo # 48.
9. Neutral wires were double/triple lugged in neutral buss bar. Only one wire/screw is recommended. See photo # 48.

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10. The sub panel(s) was(were) not properly wired. The neutral bus bar should be separate from ground bus bar. The neutral bus bar should be a floating bar with no contact with the panel or equipment grounds. The ground bus bar must be bonded to the panel. Each bus bar should be connected back to the main panel. Bonding these conductors is hazardous as it creates another path for current. See middle row left illustration. See photo # 48.
11. Ground fault circuit interrupters (GFCI) were not present &/or were inoperative on all the required receptacles {in the kitchen, wet bars, laundry room near sink, baths, exterior, hot tubs, pool, garage, unfinished basements, crawl space and other wet/potentially wet area(s)} per current IRC E3902. These were inoperative &/or missing on kitchen countertop and bathroom, -a safety hazard.
12. No arc fault circuit interrupters (AFCI) installed on any of the house's 110 volt 15 & 20 amp circuits (excepting required GFCI locations)-Unsafe. AFCI breakers are designed to provide protection from arc faults by recognizing characteristics unique to arcing and by functioning to trip the circuit when an arc fault is detected.
13. Non-grounded 220 Volt dryer &/range plug was found. Does not comply with current National Electric Code (NEC) minimum standards and is unsafe as it has risk of electrical shock. Will not fit recently purchased dryer with 4 prong electrical plug.
14. Non-grounded or loose ground on 110 volt receptacle(s) was observed, &/or grounded receptacles were installed on non-grounded (two conductor) wiring. This presents an unsafe condition because it gives the illusion of safety of grounded receptacles. Such locations were marked with green dots for ease of identification of such receptacles.

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15. Wall switch(es) was(were) discovered within 3' of the wet area (master bath in 2 bedroom units). This should be repaired as it poses a safety hazard. Such locations were marked with yellow dots for ease of identification.
16. Open incandescent bulb fixtures were discovered in all closets-which is not only unsafe- a potential fire hazard but is not allowed by current codes. See bottom row middle illustration.
17. Bathroom exhaust fan in apartment # 118.
18. Smoke detectors were missing or inoperative in some bedroom or hallway in some units

**It is recommended that all items that needed to be repaired should be promptly addressed from safety aspects.**

## OFFICE BUILDING'S MAIN PANEL & FIXTURES

Panel was located in the pool equipment room. Following adverse phenomena was observed:

19. Access to main panel was blocked by pool equipment. The distribution panel should have a minimum clearance of 36" in front and 30" to the side and 6' 6" above ground per latest NEC code. Panel could not be fully surveyed.
20. The main panel cover plate (also called the "Dead Front") was missing. Such a condition is unsafe and should be remedied. See photo #ed 49 and 50.
21. There was no anti-oxidant compound on the exposed feeder aluminum wiring. Use of anti-oxidant prevents arcing and rusting of aluminum wires. See photo #ed 49.

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22. Hot exposed hot wires discovered. Such a seriously unsafe condition should be remedied promptly.  
See photo #ed 50.
23. Improper main neutral wire color. It should be white or should be re-identified permanently. See photo #ed 49.
24. No repairs discovered on aluminum wiring. It is strongly recommended that all aluminum wiring connections, switches, receptacles, fixtures and junction boxes should be investigated for proper and safe connectors and receptacles.
25. Missing GFCI in men's and women's bathroom.

## BOILER ROOM PANEL

The main panel was manufactured by Bryant with a 125 amp main disconnect. Main wires were of aluminum while the branch circuits were of copper.

Following observations were made:

26. The panel was not fully labeled. see photo #51.
27. Unused openings in the main/sub panel dead front were not covered with panel (knock out) fillers. See photo #51.
28. Missing knockout seals in unused holes in main/sub panels.
29. There was no anti-oxidant compound on the exposed feeder aluminum wiring. Use of anti-oxidant prevents arcing and rusting of aluminum wires. See photo #ed 52

## PLUMBING

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I surveyed the accessible plumbing on the exterior as well as 11 units on the interior.

The surveyed plumbing appeared to be in good condition. Following observations were made:

1. There were missing handles on cold water supply valves on the exterior of the buildings.
2. Missing anti-siphon device(s) or back flow preventer(s) were discovered on one or more exterior hose spigot(s) and is recommended for safety by common industry practice. These should be installed to reduce the possibility of contamination of the potable water supply system.
3. Some of the vent stacks penetrating the roof were not protected from degradation by the ultra violet rays of the sun by painting the exterior surface with a UV resistant paint.
4. Missing clean out cap in some locations. See photo #53.
5. Improper clean-out (pressure release type) cap was discovered on the main drain-unsafe and is not recommended by common industry practice. See photo #54.

**It is recommended that all items that needed to be repaired should be promptly addressed.**

## APPLIANCES

I surveyed the condition of appliances in the office kitchen as well as 11 rentable units.

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Following are my findings:

1. The office stove made by Americana had 3 burners missing. See photo #55.
2. Anti-Tip brackets were not present on the office stove as well as all inspected apartment stoves. This presents a safety issue and should be promptly corrected.
3. The door for the oven did not seal adequately causing heat loss at oven door.
4. All the dishwashers lacked an air gap or backflow loop device. Air gaps are now standard equipment to assure a separation between supply and waste water and are recommended per common industry practices. It is advised that one be installed. See photo # 56.
5. Two dishwashers were inoperative at the time of inspection (2 other units could not be inspected because of storage in thgem).
6. Three food disposal were frozen or making loud noises in the 11 inspected units.
7. The splash guard for the food waste disposer was damaged or missing in 2 units It poses a safety concern and should be promptly addressed.
8. Three bath exhaust fans were inoperative.
9. Some bath exhaust fans had filters missing.
10. Dryer vent terminating with a screen on some units. Screens not permitted on dryer vents. It should have a backdraft damper.

**It is recommended that all items that needed to be repaired should be promptly addressed.**

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## CONCLUSIONS & RECOMMENDATIONS

Considering the age of the property, overall condition is fair. Signs of neglect and/or deferred maintenance were noted in all structural and mechanical systems.

It is recommended that all problems addressed in the body of this report be corrected.

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## STATEMENT OF LIMITATIONS

The submitted opinions are based upon generally accepted criteria & practices, and the personal & professional knowledge and experiences of those involved. Such a survey cannot detect all existing or potential defects and it should therefore be understood that future conditions affecting items listed in this report cannot be predicted since they are subject to change.

The scope of this survey extends only to listed items related to the structural and mechanical systems. This survey should not be considered a warranty or representation of any kind. Hence, the liability of Foresight Engineering & Inspections, LLC. extends only to the fee paid for the performance thereof at the time of our survey.

At this point, we are closing our file. We would again like to thank you for the opportunity to be of service. If Foresight Engineering & Inspections, LLC. could be of further assistance, please do not hesitate to contact us.

Respectfully submitted,  
Foresight Engineering & Inspections, LLC.

Jitendra M. Varma, M.S.C. & U.E.

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## EXHIBIT E-1

# SITE PHOTOS

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**PHOTO NO. 01**



**PHOTO NO. 02**

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**PHOTO NO. 03**



**PHOTO NO. 04**

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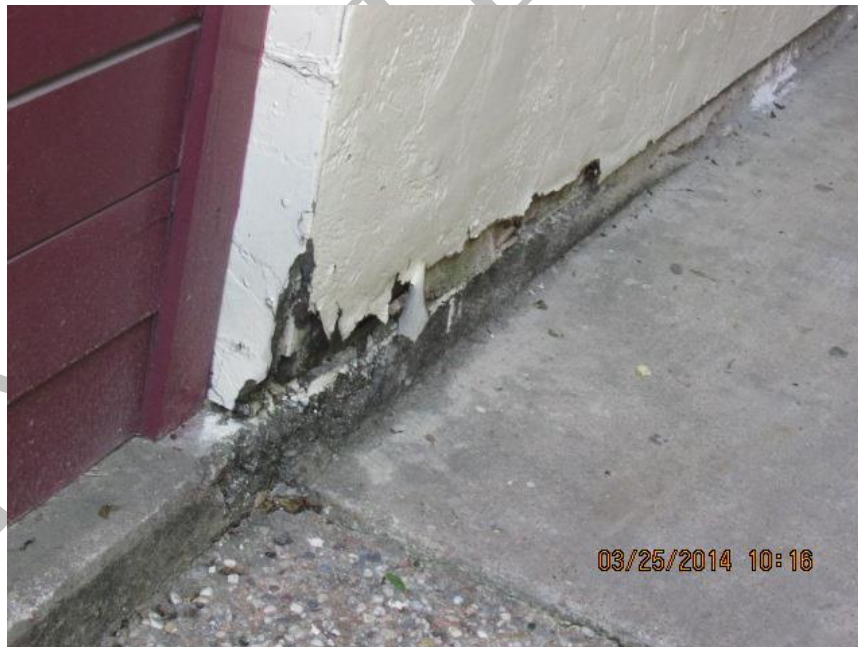
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**PHOTO NO. 05**



**PHOTO NO. 06**

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**PHOTO NO. 07**



**PHOTO NO. 08**

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**PHOTO NO. 09**



**PHOTO NO. 10**

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**PHOTO NO. 11**



**PHOTO NO. 12**

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**PHOTO NO. 13**



**PHOTO NO. 14**

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**PHOTO NO. 15**



**PHOTO NO. 16**

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**PHOTO NO. 17**



**PHOTO NO. 18**

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**PHOTO NO. 19**



**PHOTO NO. 20**

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**PHOTO NO. 21**



**PHOTO NO. 22**

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**PHOTO NO. 23**



**PHOTO NO. 24**

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**PHOTO NO. 25**



**PHOTO NO. 26**

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**PHOTO NO. 28**

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**PHOTO NO. 30**

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**PHOTO NO. 32**

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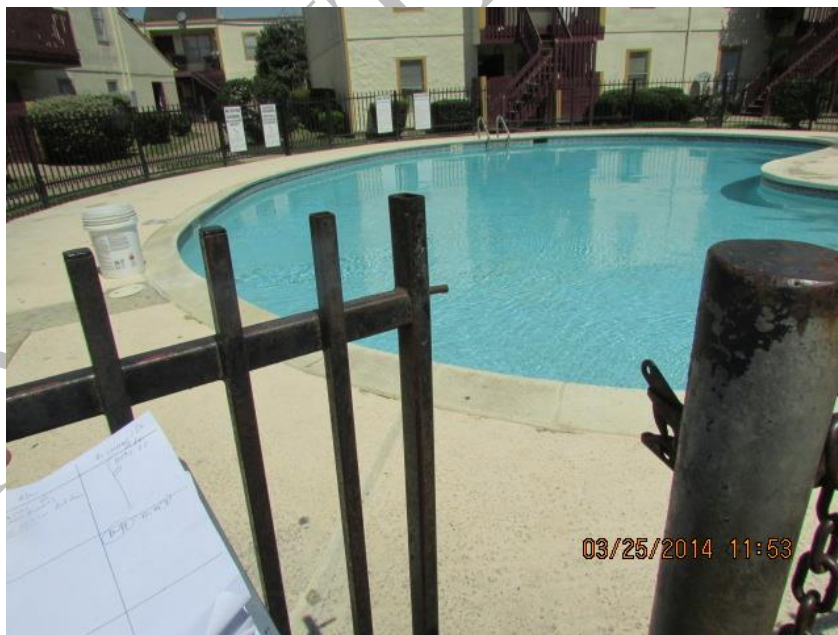
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**PHOTO NO. 33**



**PHOTO NO. 34**

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**PHOTO NO. 35**



**PHOTO NO. 36**

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**PHOTO NO. 37**



**PHOTO NO. 38**

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**PHOTO NO. 40**

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**PHOTO NO. 41**



**PHOTO NO. 42**

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**PHOTO NO. 43**



**PHOTO NO. 44**

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**PHOTO NO. 45**



**PHOTO NO. 46**

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**PHOTO NO. 48**

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**PHOTO NO. 50**

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**PHOTO NO. 54**

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**PHOTO NO. 55**



**PHOTO NO. 56**

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EXHIBIT E-2

## BUILDINGS LAYOUT

ON

## THE PROPERTY

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## EXHIBIT E-3

# CONSULTANT'S QUALIFICATIONS

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**WE DO INSPECTIONS OF NEW & EXISTING APARTMENT/CONDOMINIUM/TOWNHOUSE COMPLEXES, OFFICE/WAREHOUSE/FREE STANDING/ RESTAURANT/ CONVENIENT STORE BUILDINGS, STRIP/SHOPPING CENTERS AND INDUSTRIAL BUILDINGS.**

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## PROFILE

### **JITENDRA (VICTOR) M. VARMA**

MSC & UE, PI, EAC, LREB, CRT, EIFSIP, LRA, ESC, EIFSII, CRMI, CPI, PE

#### LICENSES & CERTIFICATIONS

- ◆ Licensed Professional Structural Engineer
- ◆ Licensed Wood Destroying Insects Inspector
- ◆ Licensed Environmental Lead Risk Assessor (exp.)
- ◆ Licensed Real Estate Broker
- ◆ Certified Home Buyers Warranty Inspector (New Homes)
- ◆ Certified Environmental Assessment Consultant
- ◆ Certified EIFS (Synthetic Stucco) Industry Professional
- ◆ Certified Residential Mold Inspector (IESO)
- ◆ Third Party Structural Inspector (TRCC)
- ◆ Appointed Wind Code Engineer (Texas Dept. of Insurance)
- ◆ Licensed. Professional Real Estate Inspector (# 3864)
- ◆ Licensed Environmental Lead Risk Inspector (exp.)
- ◆ Certified Home Buyers Warranty Engineer (New Homes)
- ◆ Licensed Air Conditioning & Heating Rep. Contractor (exp.)
- ◆ Certified Max Worldwide Home Assistance Program
- ◆ Certified Environmental Screening Consultant
- ◆ Certified EIFS (Synthetic Stucco) Independent Inspector
- ◆ Certified Mold & Healthy Home Inspector (Home Test Labs)
- ◆ Appointed Wind Code Inspector (Texas Dept. of Insurance)(exp.)
- ◆ Level 1 inspector (Post Tensioning Institute)
- ◆ Certified Residential Thermographer

#### EDUCATION

- ◆ Masters of Science, Civil & Urban Engineering-University of Pennsylvania (Ivy League School)
- ◆ Bachelor of Science, Civil Engineering (India)

#### EXPERIENCE

- ◆ Over 35 Years Engineering and Inspection Experience in Commercial, Residential & Industrial Construction; Forensic Studies & Engineering; Construction Issues and Expert Testimony Work

#### AFFILIATIONS

(Past & Present)

- ◆ Secretary & Director of Houston Association Real Estate Inspectors (H.A.R.E.I.)
- ◆ American Institute of Steel Construction
- ◆ Foundation Performance Association
- ◆ American Concrete Institute
- ◆ Texas Association of Real Estate Inspectors
- ◆ National Association of Realtors
- ◆ Southern Council of Prof. Building Inspectors
- ◆ National Society of Environmental Consultants
- ◆ Indoor Environmental Standards Organization
- ◆ Southern Building Code Congress International
- ◆ Texas Professional Real Estate Inspectors Association
- ◆ American Society of Civil Engineers
- ◆ American Society of Construction Analysts
- ◆ Structural Engineers Organization of Texas
- ◆ Houston Inventors Association
- ◆ Texas Association of Realtors
- ◆ Houston Association of Realtors
- ◆ Better Business Bureau
- ◆ Environmental Solutions Association
- ◆ International Code council
- ◆ Board Member of Foundation Performance Association

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